

**LOT 424**

The Ramble  
Biltmore Village  
Asheville  
North Carolina

DESIGNED &amp; BUILT BY



## Billard-Jones Custom

## APPROVAL

To subcontractors: Drawings are not for construction unless initials below are present.

CLIENT

BUILDER

## CONSTRUCTION DOCUMENT APPROVAL STATEMENT

The owner has a duty to read and understand the agreement and construction documents as provided before approving the builder to do work. These agreement and construction documents form the binding description of the work being purchased from the builder and supercede all previous discussions and versions. By affixing their signature(s) above, the owner affirms that they have read and understand the agreement and construction documents and approve the full scope of work herein. All federal, state, and local codes, ordinances, regulations, etc., shall be considered as part of specifications for this residence and take precedence over anything shown, described, or implied where same at variance.

## REVISIONS

[illegible]

2021 - 27

# A0.01

COVER SHEET

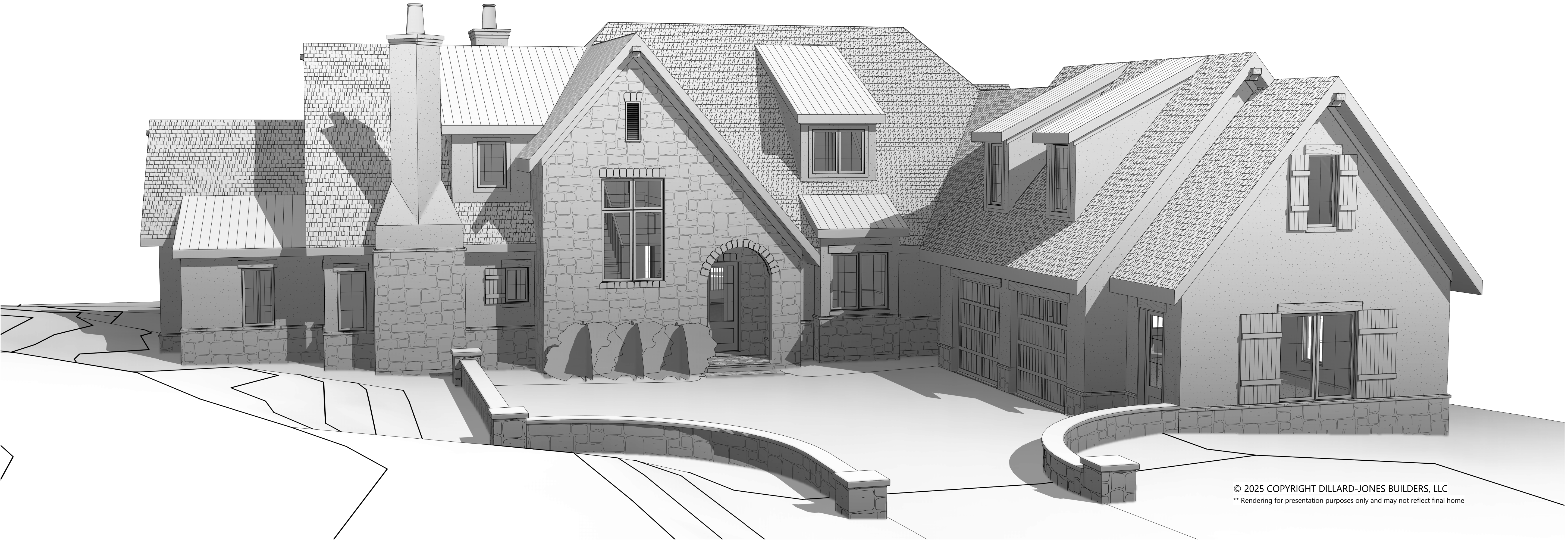
## BUILDING AREA TABULATION

	FINISHED	UNFINISHED	GARAGES	ROOFED PORCHES	FRAMED	COVERED PATIOS	OPEN PATIOS/ DECKS
MAIN (ABOVE GRADE)	3,011	-	702	614	4,327	-	371
UPPER (ABOVE GRADE)	1,540	-	-	-	1,540	-	-
<b>TOTALS</b>	4,551	-	702	614	<b>5,867</b>	-	<b>371</b>

Finished square footage calculations provided are made based on measured dimensions only and may vary from the finished square footage of the house as-built. All finished square footage calculations are based on dimensions from the exterior face (or outside face) of finished space walls as set forth in ANSI Z765-2003.

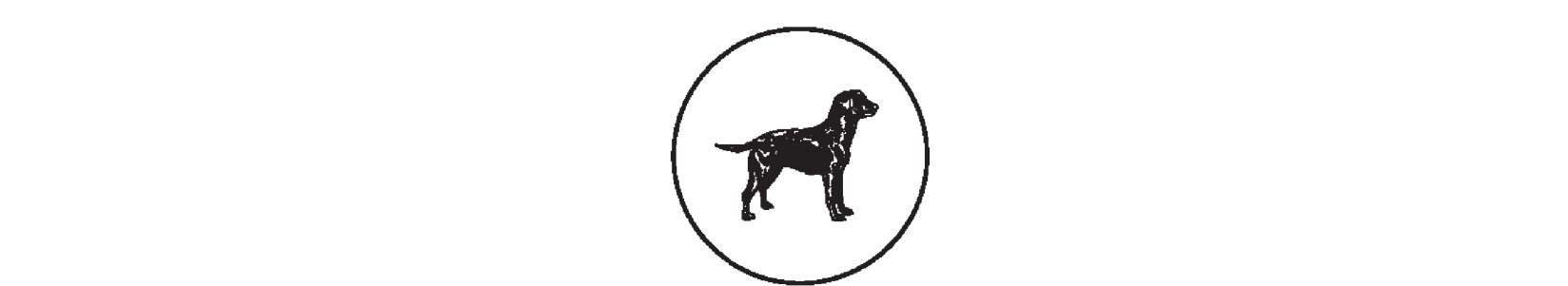
## SHEET LIST

SHEET NO.	SHEET NAME
A0.01	COVER SHEET
A0.02	SITE PLAN
A0.03	SURVEY
A0.04	LANDSCAPE PLAN
A0.05	SPECIFICATIONS
A0.06	SPECIFICATIONS
A0.07	SPECIFICATIONS
A0.08	SPECIFICATIONS
A0.10	SCHEDULES
A1.00	FOUNDATION PLAN
A1.00.1	GARAGE FOUNDATION & DETAILS
A1.01	MAIN LEVEL PLAN
A1.02	UPPER LEVEL PLAN
A1.03	GARAGE LEVEL & COURTYARD PLANS
A1.04	ROOF PLAN
A1.05	ROOF PLAN
A2.01	EXTERIOR ELEVATIONS
A2.02	EXTERIOR ELEVATIONS
A2.03	EXTERIOR ELEVATIONS
A3.01	BUILDING SECTIONS
A3.02	BUILDING SECTIONS
A3.03	BUILDING SECTIONS
A3.04	BUILDING SECTIONS
A4.01	WALL SECTIONS
A5.01	DETAILS
A5.02	DETAILS
A5.03	DETAILS
A6.01	MAIN LEVEL & GARAGE CEILING PLANS
A6.02	UPPER LEVEL CEILING PLAN



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 \*\* Rendering for presentation purposes only and may not reflect final home

# CUSTOM HOME, LOT 424 THE RAMBLE



# Dillard-Jones Custom



Grid North  
NAD 83 (2011)

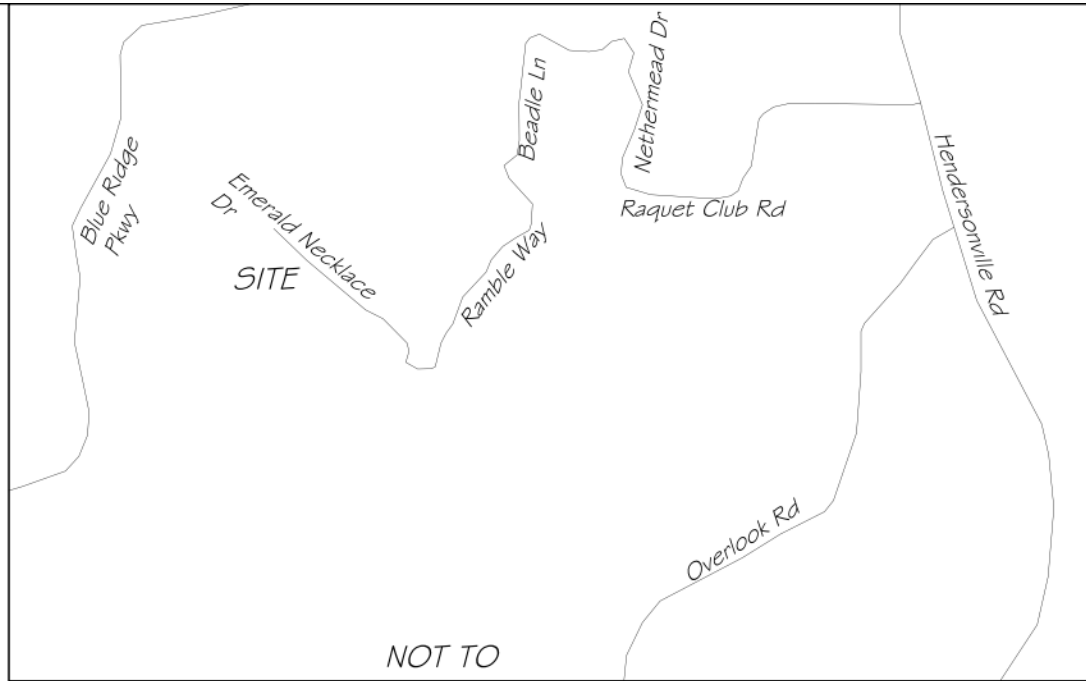
Point	Description
151	20" OAK
152	14" OAK
153	10" SOURWOOD
154	14" OAK
155	8" OAK
157	8" OAK
158	10" HICKORY
166	12" OAK / 14" OAK
167	10" OAK
168	12" OAK
169	8" SOURWOOD
170	16" OAK
171	20" OAK
173	6" SOURWOOD
175	16" OAK
176	8" SOURWOOD / 8" SOURWOOD
177	12" PINE / 8" PINE
178	10" POPLAR
179	8" OAK
180	3 X 10" SOURWOOD
181	8" OAK
182	30" PINE
183	8" OAK
184	8" OAK / 12" OAK
185	8" SOURWOOD
186	2 X 10" MAPLE
187	12" OAK
190	12" MAPLE
191	8" OAK
192	10" OAK
193	14" OAK
194	20" PINE
195	10" PINE
196	2 X 20" OAK
197	10" OAK

Point	Description
198	6" MAPLE
199	18" OAK
200	22" PINE
201	8" OAK / 10" OAK
205	14" OAK
206	18" SOURWOOD
207	10" OAK / 16" OAK
208	14" OAK
209	2 X 10" OAK
210	18" OAK
211	14" OAK
212	14" OAK
213	8" MAPLE / 10" MAPLE
214	18" OAK
215	18" OAK
216	14" OAK
217	14" OAK
218	12" OAK
220	16" OAK
221	14" MAPLE
222	14" MAPLE
223	10" MAPLE
224	20" PINE
225	24" PINE
226	16" PINE
227	20" OAK
228	12" SOURWOOD
229	12" POPLAR
230	12" PINE
231	14" OAK
235	20" OAK / 10" PINE
236	14" OAK / 10" OAK
237	14" OAK
238	8" MAPLE

424

0.64 Acres

Area by Coordinate Computation



Vicinity Map

Global Positioning System Certification (RTK)  
The Positional Accuracy Of The RTK Derived Positional  
Information Is 0.03' Horizontal & 0.03' Vertical

Horizontal Positional Are Referenced to NAD 83 (NSRS 2011)

Vertical Positions Are Referenced To NAVD 88 (Geoid 12)

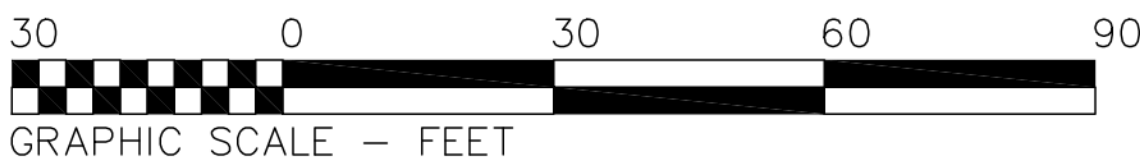
Combined Factor 0.99978019 (Ground To Grid)

Equipment Used: Carlson GPS-BRx6

Building Setbacks as per Plat Book 213, Pg. 172:  
Front: 35'  
Side: 20'  
Rear: 25'

Notes:

- Property is subject to all easements, restrictions and right of ways of record.
- The locations of underground utilities are based on above-ground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate title search may disclose.
- The certification of survey and plat was prepared for the entity named in the title block hereon and does not extend to any other entity, unless recertified by the professional land surveyor.
- All miscellaneous survey related materials, including but not limited to, project plans, deed and ROW research, maps, field notes and data, survey reports, record title report, calculations, working drawings, estimates, and other materials acquired and/or prepared by the surveyor as instruments of service shall remain the property of the surveyor and assigns.
- This drawing is not valid unless the original signature and stamp are attached. Any reproduction or variance to this survey by electronic or any other means are not to be considered issued by the professional surveyor.
- Property is not located in a Water Supply Watershed.
- Property is not located within 1/2 mile of a designated Farmland Preservation District.
- Property is located in Zone X (minimal flood risk) as per FRIS Map Panel 9645, Map # 3700964500J effective date 1-6-2010
- Property is currently Zoned R-1
- Contours are at 1' intervals.



Curve	Radius	Length	Chord	Chord Bear.
C1	600.00'	178.17'	177.52'	S 34°08'34" E

Legend:  
ECM = Existing Concrete Monument  
EIP = Existing Iron Pipe  
EIS = Existing Iron Stake  
IPS = Iron Pipe Set  
● = Unmarked Point, Unless Otherwise Noted  
ROW/MON = Right of Way Monument  
ROW = Right of Way  
RRS = Railroad Spike  
BSL = Building Setback Line  
WV = Water Valve  
WM = Water Meter  
TBM = Temporary Benchmark

Lockstead Court  
Private, Asphalt  
45' Right of Way

Lot 424 of Block F Phase 2 of  
Ramble Biltmore Forest

Map of Topographical Survey for

Dillard-Jones Builders

-Owners-  
Ramble Biltmore Forest LLC

D.B. 3836, Pg. 521

Pin: 9645-47-1392-00000

Limestone Township	Buncombe County, NC
ASSOCIATED LAND SURVEYORS & PLANNERS PC. P.O. BOX 578 * HORSE SHOE, NC 28742 (828) 890-3507 NC BUSINESS LICENSE NO. C-2774	
SCALE: 1 Inch = 30 Feet	DATE: April 6, 2021
JOB NO.: S-21-175	DRAWN BY: LDJ/JTB IntellCAD 8.0

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	CALIPER
----------------	-------------	------	-----------	---------

TREES				
Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	2" Cal.	B&B	6" - 8" H
Cornus florida 'Cherokee Princess'	Cherokee Princess Dogwood	3" Cal.	B&B	
Ilex x 'Nellie R Stevens'	Nellie Stevens Holly	8'-10' Ht.	B&B	
Magnolia grandiflora 'Little Gem'	Little Gem Dwarf Southern Magnolia	7'-8' Ht.	B&B	
Quercus rubra	Red Oak	3" Cal.	B&B	

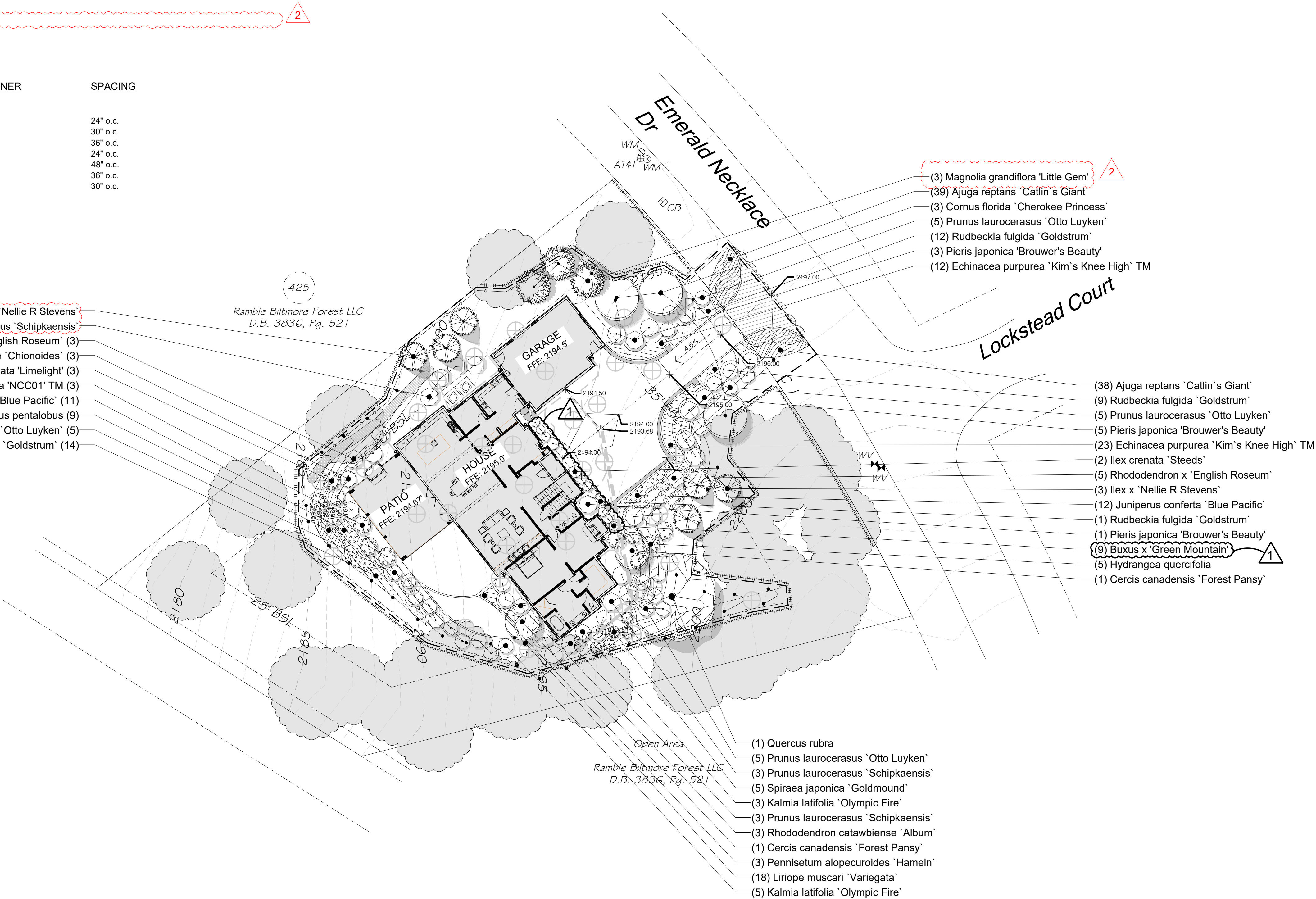
BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
----------------	-------------	------	-----------

SHRUBS			
Buxus x 'Green Mountain'	Green Mountain Boxwood	5 gal.	Pot
Min. 36" of Ht. @ Time of Planting			
Cotinus coggygria 'NCC01' TM	Winecraft Black Smoke Tree	4 gal.	Pot
Hydrangea paniculata 'Limelight'	Limelight Panicle Hydrangea	3 gal.	Pot
Hydrangea quercifolia	Oakleaf Hydrangea	3 gal.	Pot
Ilex crenata 'Steeds'	Steeds Japanese Holly	7 gal.	Pot
Kalmia latifolia 'Olympic Fire'	Mountain Laurel	3 gal.	Pot
Pieris japonica 'Brouwer's Beauty'	Brouwer's Beauty Japanese Pieris	3 gal.	Pot
Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	5 gal.	Pot
Prunus laurocerasus 'Schipkaensis'	Schipka Cherry Laurel	5 gal.	Pot
Rhododendron catawbiense 'Album'	White Catawba Rhododendron	3 gal.	Pot
Rhododendron catawbiense 'Chionoides'	Chionoides Rhododendron	3 gal.	Pot
Rhododendron x 'English Roseum'	English Roseum Rhododendron	3 gal.	Pot
Spiraea japonica 'Goldmound'	Goldmound Spirea	3 gal.	Pot

BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
----------------	-------------	------	-----------	---------

GROUND COVERS				
Ajuga reptans 'Catlin's Giant'	Catlin's Giant Bugleweed	1 gal.	Cont.	24" o.c.
Echinacea purpurea 'Kim's Knee High' TM	Purple Coneflower	1 gal.	Cont.	30" o.c.
Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	1 gal.	Cont.	36" o.c.
Liriope muscari 'Variegata'	Variegated Lily Turf	1 gal.	Cont.	24" o.c.
Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	1 gal.	Cont.	48" o.c.
Rubus pentalobus	Creeping Raspberry	4" pot	Cont.	36" o.c.
Rudbeckia fulgida 'Goldstrum'	Coneflower	1 gal.	Cont.	30" o.c.

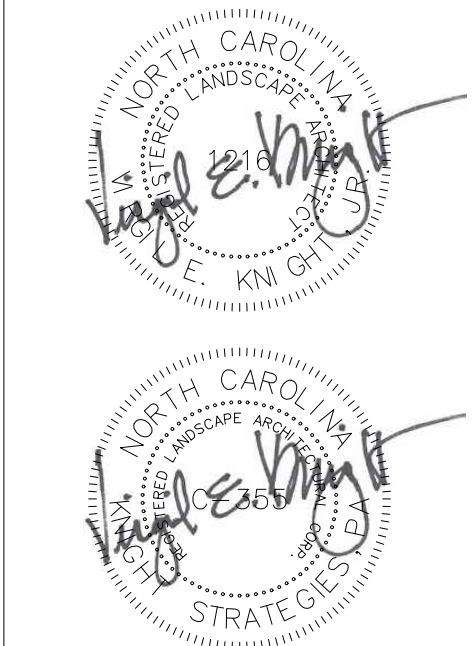
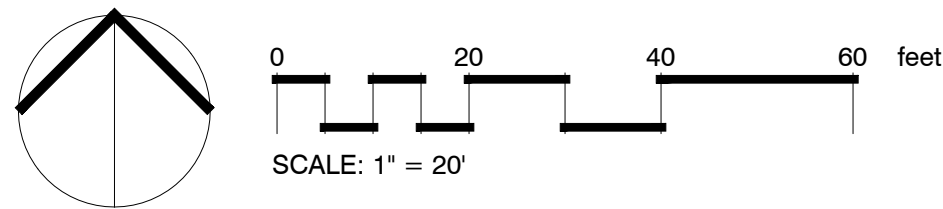
- 2
- (3) Ilex x 'Nellie R Stevens'
- (4) Prunus laurocerasus 'Schipkaensis'
- Rhododendron x 'English Roseum' (3)
- Rhododendron catawbiense 'Chionoides' (3)
- Hydrangea paniculata 'Limelight' (3)
- Cotinus coggygria 'NCC01' TM (3)
- Juniperus conferta 'Blue Pacific' (11)
- Rubus pentalobus (9)
- Prunus laurocerasus 'Otto Luyken' (5)
- Rudbeckia fulgida 'Goldstrum' (14)



- 2
- (3) Magnolia grandiflora 'Little Gem'
- (39) Ajuga reptans 'Catlin's Giant'
- (3) Cornus florida 'Cherokee Princess'
- (5) Prunus laurocerasus 'Otto Luyken'
- (12) Rudbeckia fulgida 'Goldstrum'
- (3) Pieris japonica 'Brouwer's Beauty'
- (12) Echinacea purpurea 'Kim's Knee High' TM

- (38) Ajuga reptans 'Catlin's Giant'
- (9) Rudbeckia fulgida 'Goldstrum'
- (5) Prunus laurocerasus 'Otto Luyken'
- (5) Pieris japonica 'Brouwer's Beauty'
- (23) Echinacea purpurea 'Kim's Knee High' TM
- (2) Ilex crenata 'Steeds'
- (5) Rhododendron x 'English Roseum'
- (3) Ilex x 'Nellie R Stevens'
- (12) Juniperus conferta 'Blue Pacific'
- (1) Rudbeckia fulgida 'Goldstrum'
- (1) Pieris japonica 'Brouwer's Beauty'
- 1
- (9) Buxus x 'Green Mountain'
- (5) Hydrangea quercifolia
- (1) Cercis canadensis 'Forest Pansy'

- (1) Quercus rubra
- (5) Prunus laurocerasus 'Otto Luyken'
- (3) Prunus laurocerasus 'Schipkaensis'
- (5) Spiraea japonica 'Goldmound'
- (3) Kalmia latifolia 'Olympic Fire'
- (3) Prunus laurocerasus 'Schipkaensis'
- (3) Rhododendron catawbiense 'Album'
- (1) Cercis canadensis 'Forest Pansy'
- (3) Pennisetum alopecuroides 'Hameln'
- (18) Liriope muscari 'Variegata'
- (5) Kalmia latifolia 'Olympic Fire'



DILLARD JONES  
RAMBLE LOT 424:  
ASHEVILLE, NORTH CAROLINA

LANDSCAPE PLAN		REVISIONS:		
		REVISION	DESCRIPTION	DATE
		1	ACC COMMENTS	03-03-2022
		2	ARB COMMENTS	04-10-2025
SHEET NUMBER:	PROJECT NUMBER:		21680	
	DATE:		February 02, 2022	
SHEET NUMBER:		L200		
SHEET TITLE:		Copyright © 2021 Knight Strategies, P.A.		

[illegible]

**WINDOW NOTES:**

- REFER TO THE SPECIFICATIONS FOR WINDOW MODEL AND BRAND
- PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE
- PROVIDE MUNTIN PATTERN AS SHOWN ON EXTERIOR ELEVATIONS
- MULTIPLE UNITS TO COME FACTORY MULLED
- MUNTINS TO BE SDL WITH INTERNAL SPACER BAR BETWEEN GLASS PANES
- VERIFY HARDWARE AND FRAME COLOR PRIOR TO ORDERING
- REFER TO THE FLOOR PLANS FOR QUANTITIES OF WINDOWS AND DOORS
- PROVIDE EGRESS WINDOWS WHERE REQUIRED BY CODE, WINDOW SUPPLIER TO VERIFY DIMENSIONS WITH FINAL BRAND OF WINDOWS SELECTED PRIOR TO ORDERING
- PROVIDE WINDOW OPENING LIMITERS WHERE REQUIRED BY LOCAL BUILDING CODE.

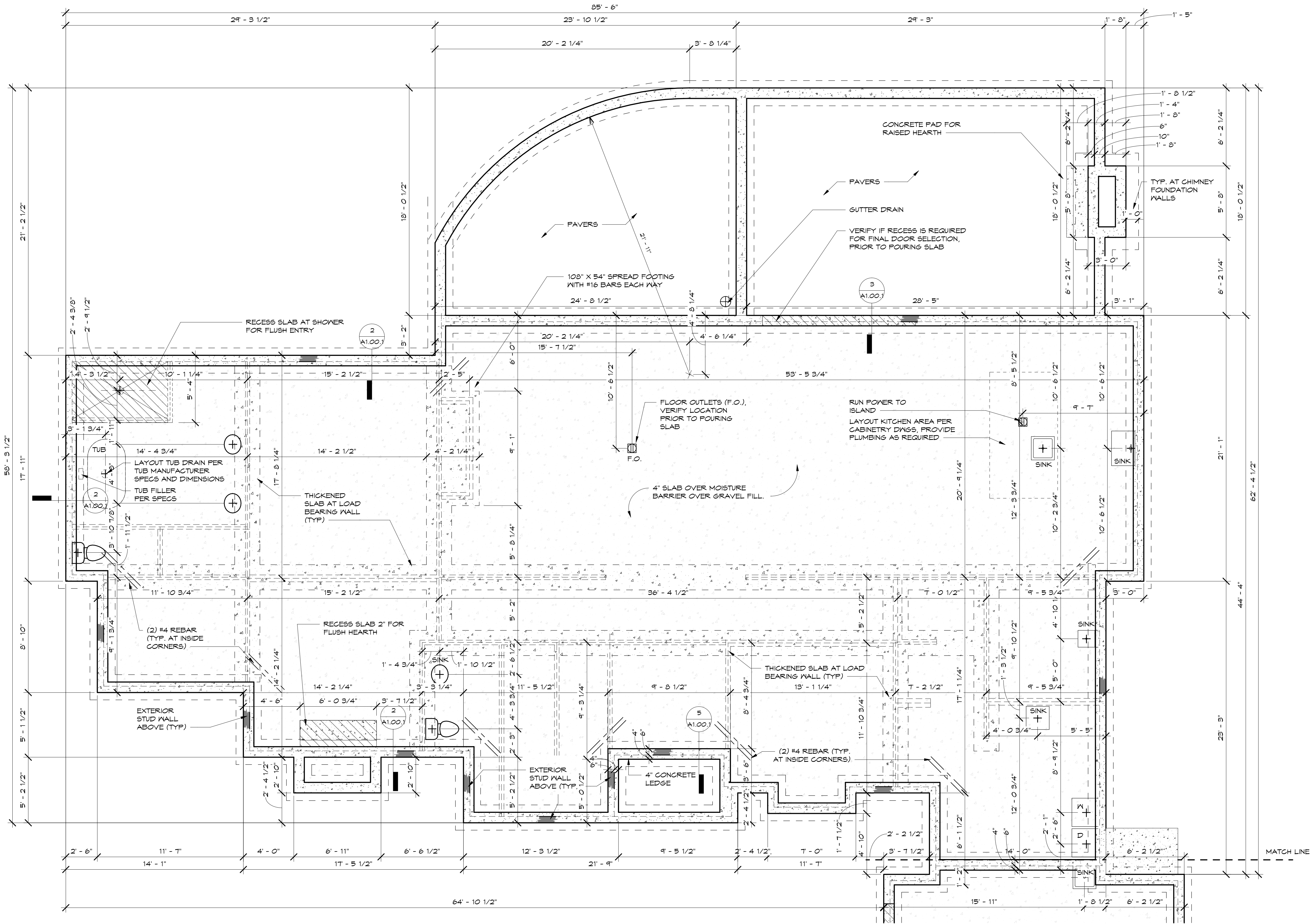
WINDOW #39  
WAS OMITTED  
FROM THE PROJECT

Architectural drawing of a door schedule for the 1st floor. The drawing shows three door units labeled E, F, and G. Unit E is a single door with a height dimension of 8'-0". Unit F is a double door with a height dimension of 8'-0". Unit G consists of two single doors, each labeled "PKT", with a height dimension of 8'-0". All units have a width dimension of "SEE SCHEDULE". A dashed line indicates the "FINISH FLOOR" level. A note at the bottom states: "DOOR PANELS MAY NOT REFLECT FINAL DOOR SELECTION - SEE SPECIFICATIONS".

DOOR PANELS MAY NOT REFLECT  
FINAL DOOR SELECTION - SEE SPECIFICATIONS

DOOR TYPES  
1/2" = 1'-0"

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1 FOUNDATION PLAN  
1/4" = 1'-0"

NEW HOME FOR

LOT 424

The Ramble  
Biltmore Village  
Asheville  
North Carolina

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#### REVISIONS

No.	Description	Date
A	BANK SET	5-12-25
0	CONSTRUCTION	8-28-25

2021-27

A1.00

FOUNDATION PLAN

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① MAIN LEVEL PLAN  
1/4" = 1'-0"

① UPPER LEVEL  
1/4" = 1'-0"



The Ramble  
Biltmore Village  
Asheville  
North Carolina



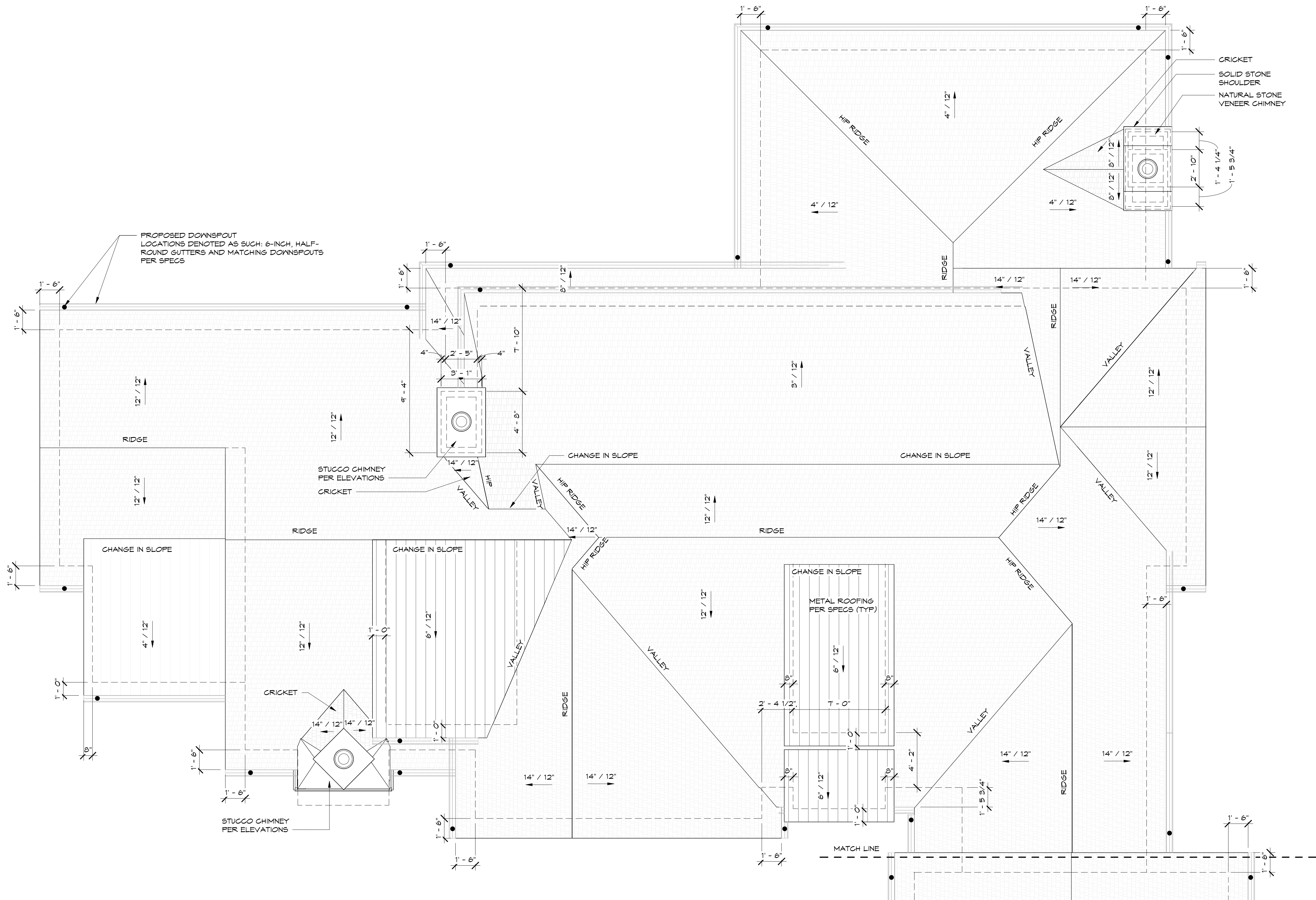
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[illegible]

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① ROOF PLAN  
1/4" = 1'-0"

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REVISIONS

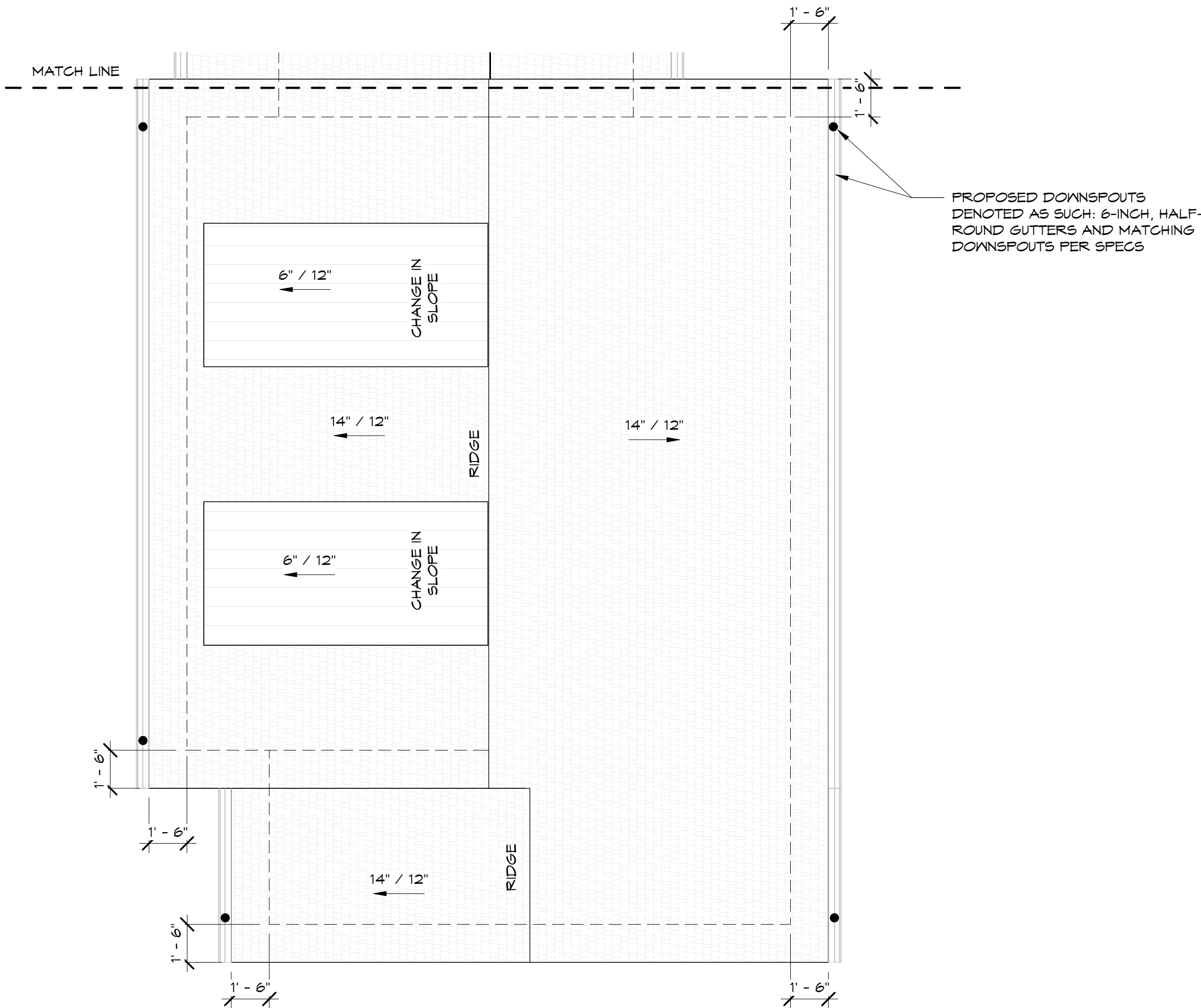
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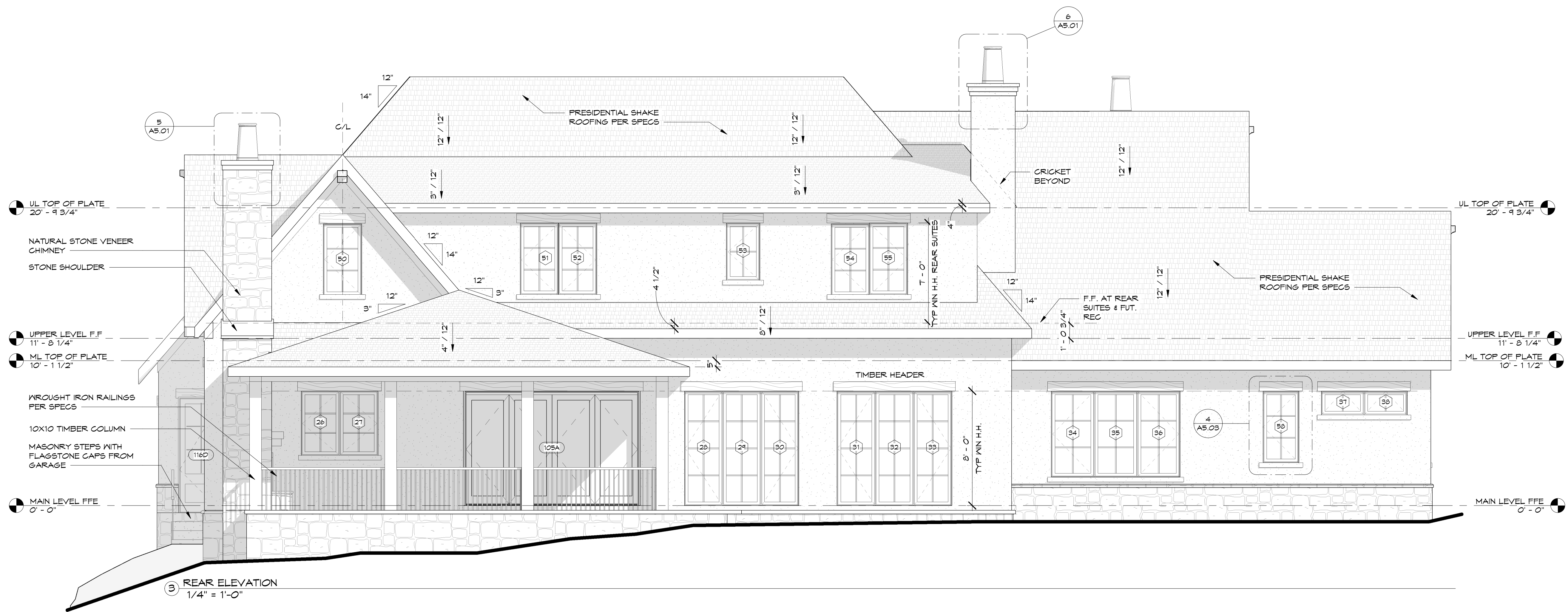
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ROOF PLAN

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1 ROOF PLAN - GARAGE  
1/4" = 1'-0"



② RIGHT ELEVATION  
1/4" = 1'-0"

MASONRY STEPS WITH  
FLAGSTONE TREADS \_\_\_\_\_

WROUGHT IRON RAILINGS PER  
SPECS \_\_\_\_\_

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R E V I S I O N S		
No.	Description	Date
A	BANK SET	5-12-25
0	CONSTRUCTION	8-28-25

2 0 2 1 - 2 7

A2.03  
EXTERIOR ELEVATIONS

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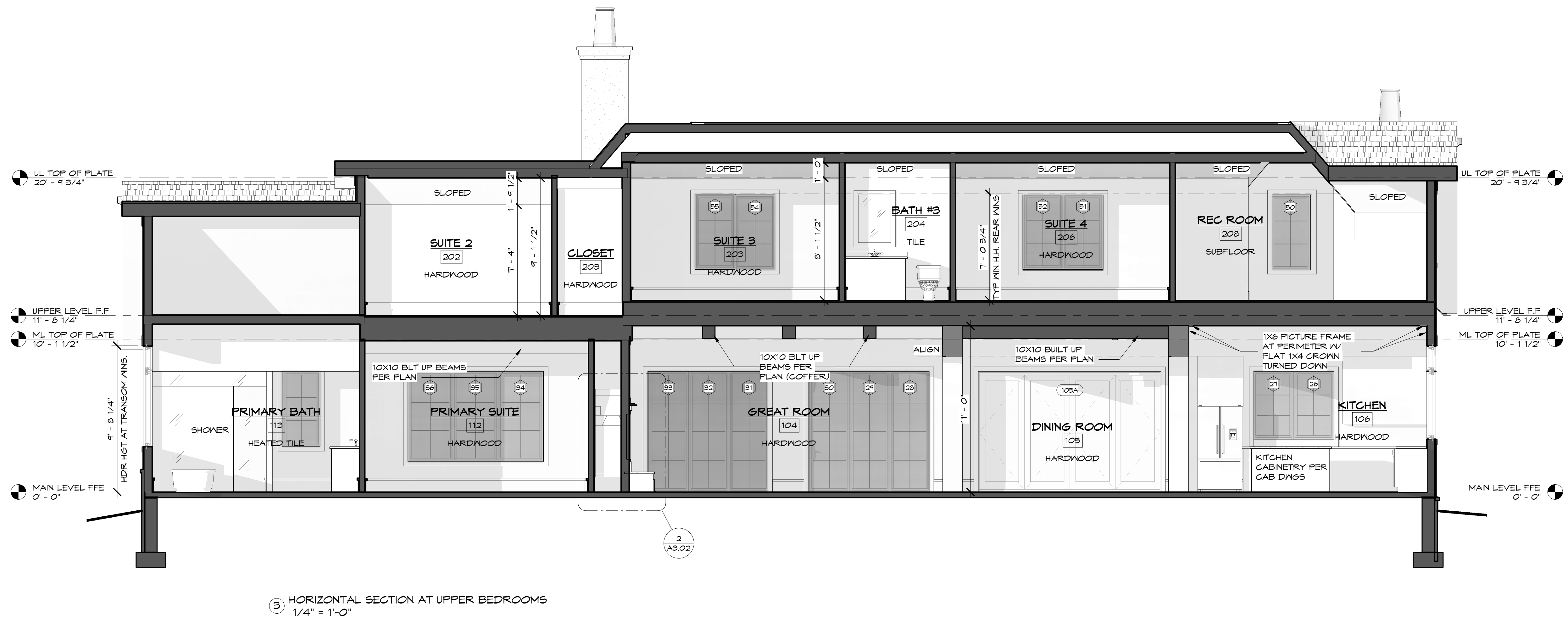
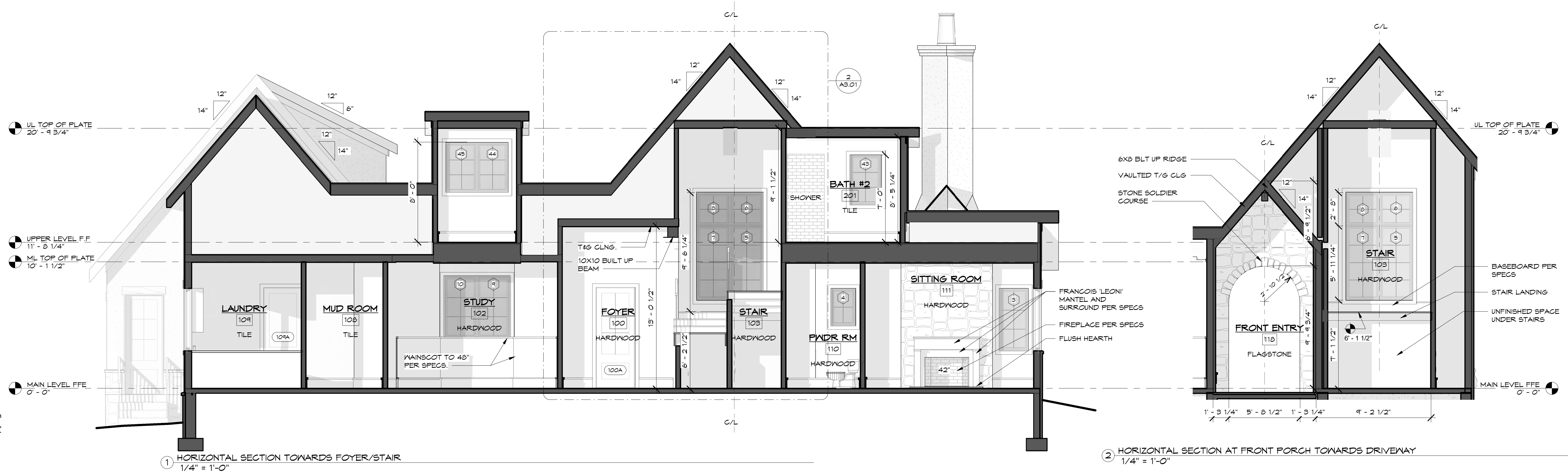
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[illegible]
$$2 \ 0 \ 2 \ 1 \ - \ 2 \ 7$$

## A3.01

## BUILDING SECTIONS

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③ VERTICAL SECTION AT FOYER  
1/4" = 1'-0"

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REVISIONS

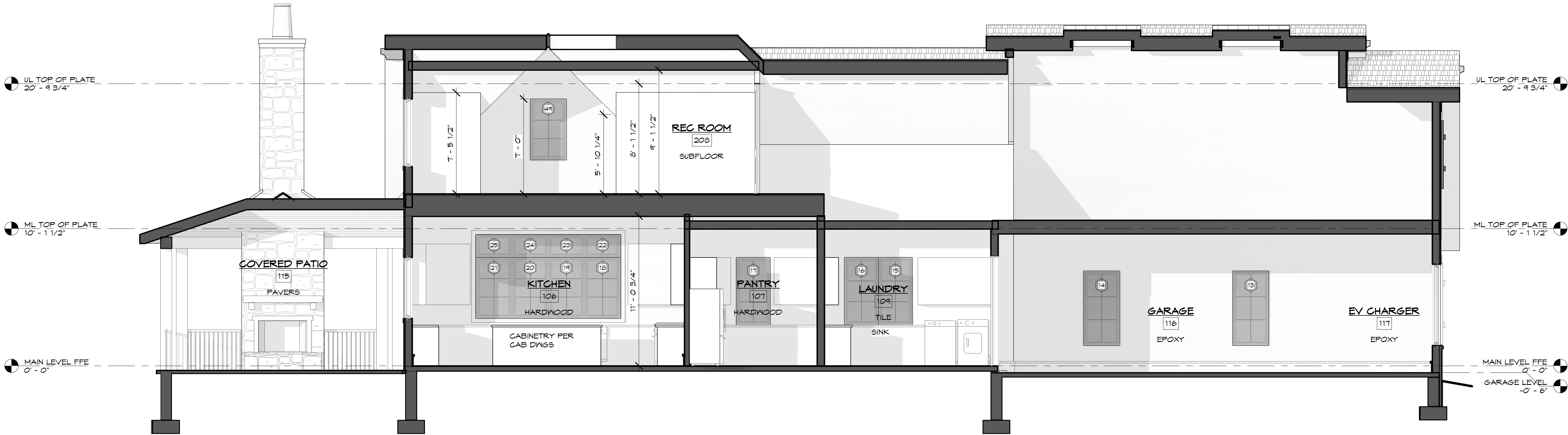
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2021-27

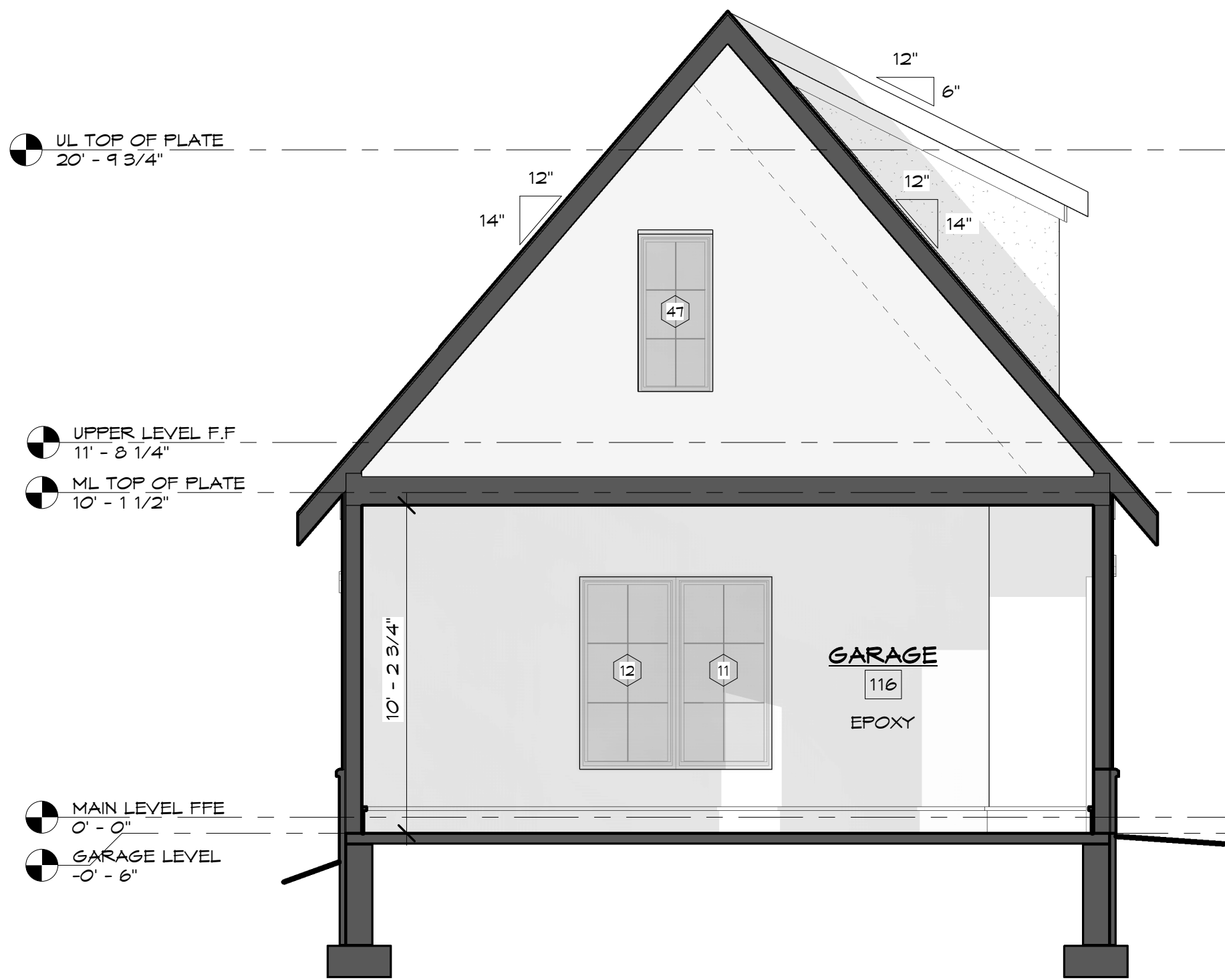
A3.03

BUILDING SECTIONS

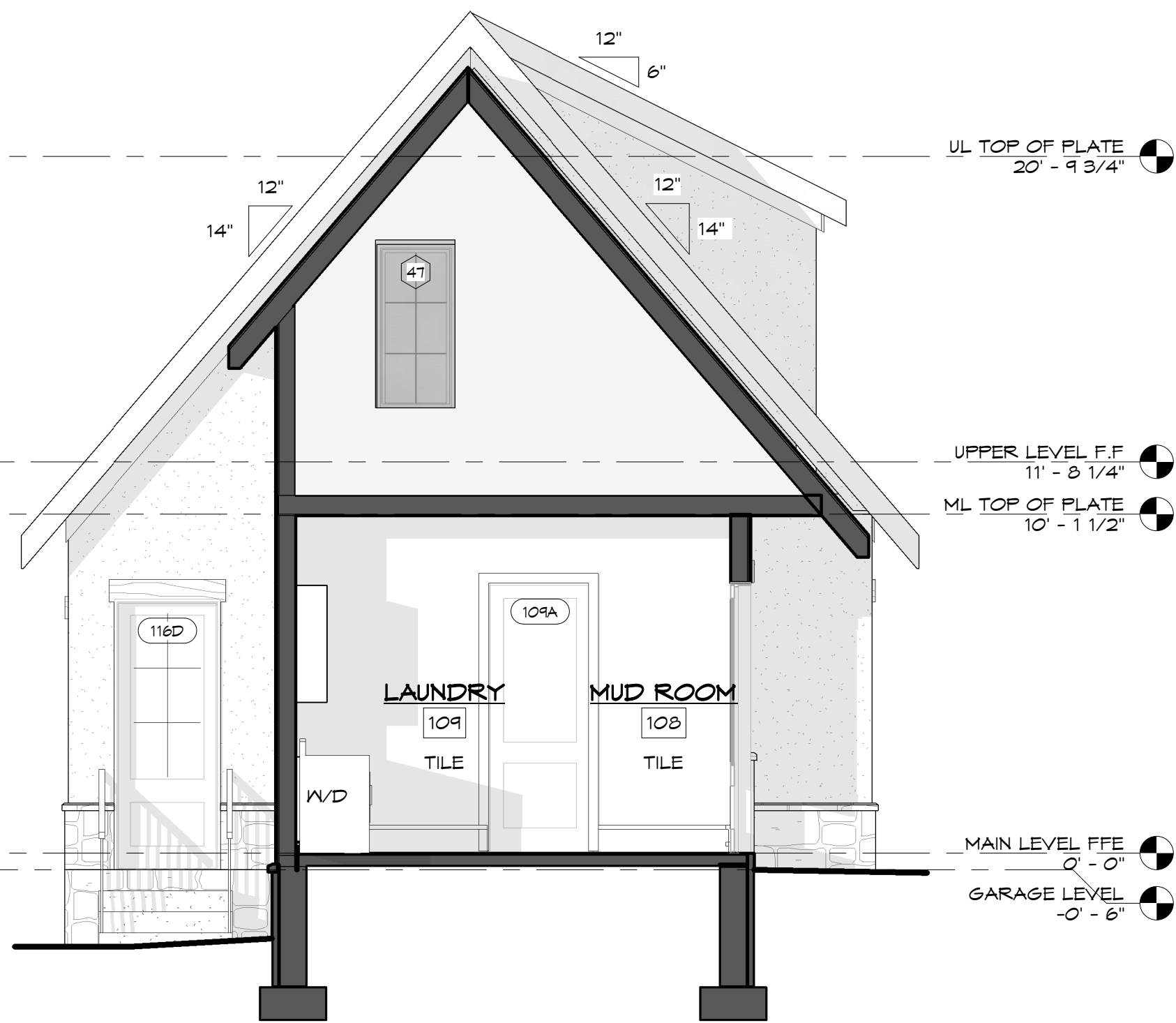
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① VERTICAL SECTION AT KITCHEN/GARAGE  
1/4" = 1'-0"



② HORIZONTAL SECTION AT GARAGE  
1/4" = 1'-0"



③ HORIZONTAL SECTION AT UTILITY ROOM/FRIENDS ENTRY  
1/4" = 1'-0"







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To subcontractors: Drawings are not for construction unless initials below are present.

CLIENT

WILDER

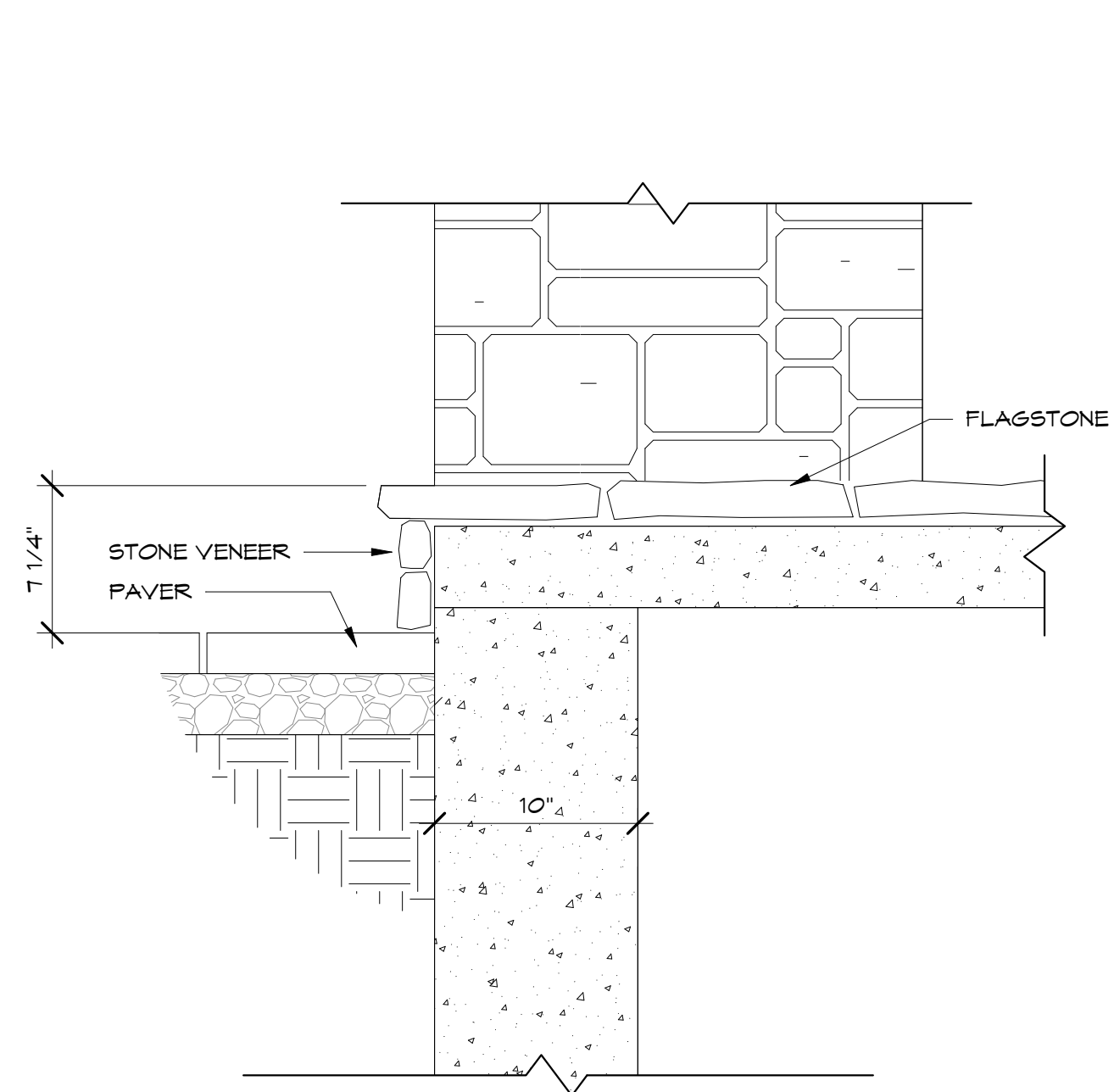
## CONSTRUCTION DOCUMENT APPROVAL STATEMENT

The owner has a duty to read and understand the agreement and construction documents as provided before approving the builder to do work. These agreement and construction documents form the binding description of the work being purchased from the builder and supersede all previous discussions and versions. By affixing their signature(s) above, the owner affirms that they have read and understand the agreement and construction documents and approve the full scope of work herein. All federal, state, and local codes, ordinances, regulations, etc., shall be considered as part of specifications for this residence and take precedence over anything shown, described, or implied where same at variance.

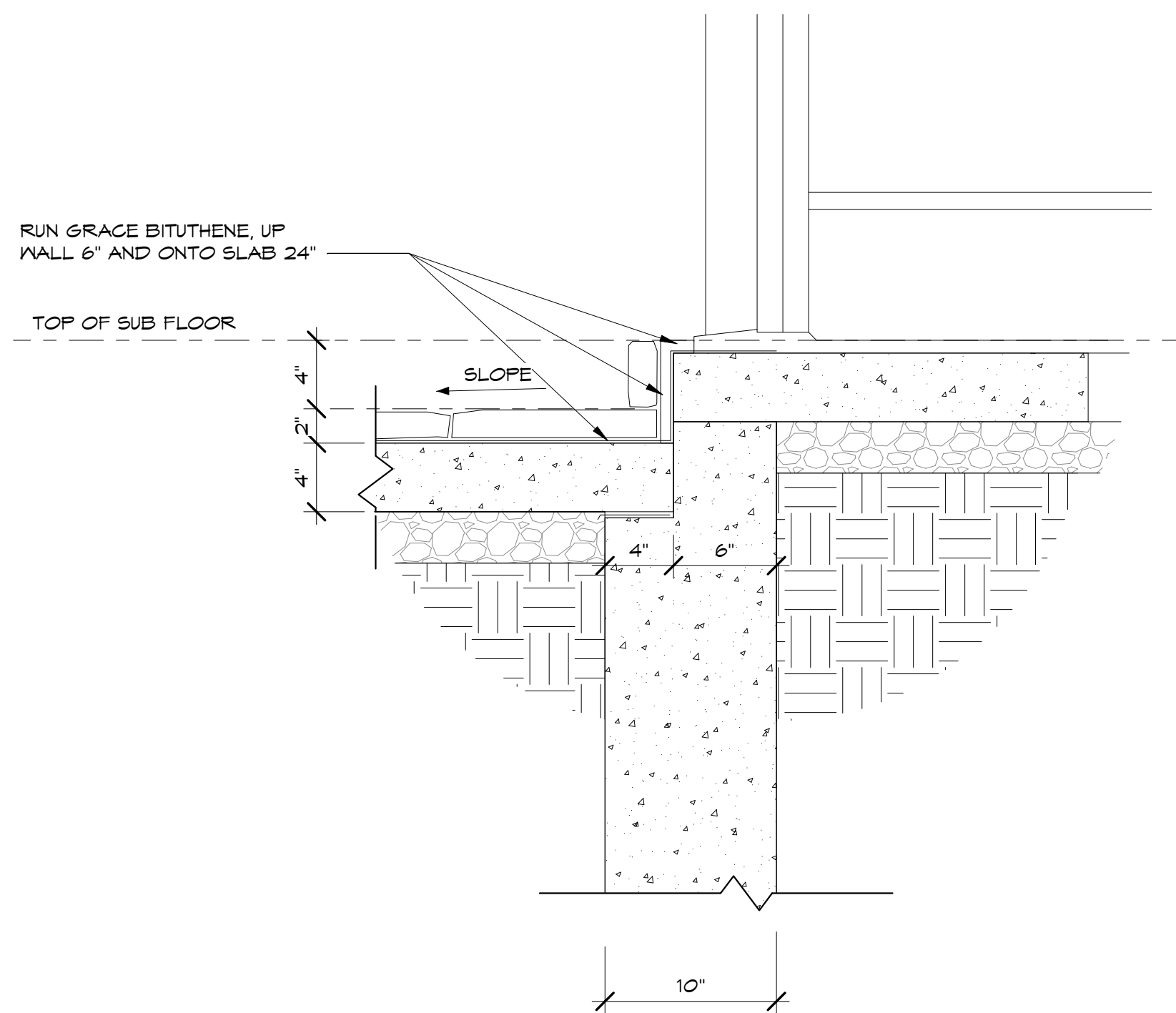
[illegible]
$$2 \ 0 \ 2 \ 1 \ - \ 2 \ 7$$

# A5.01

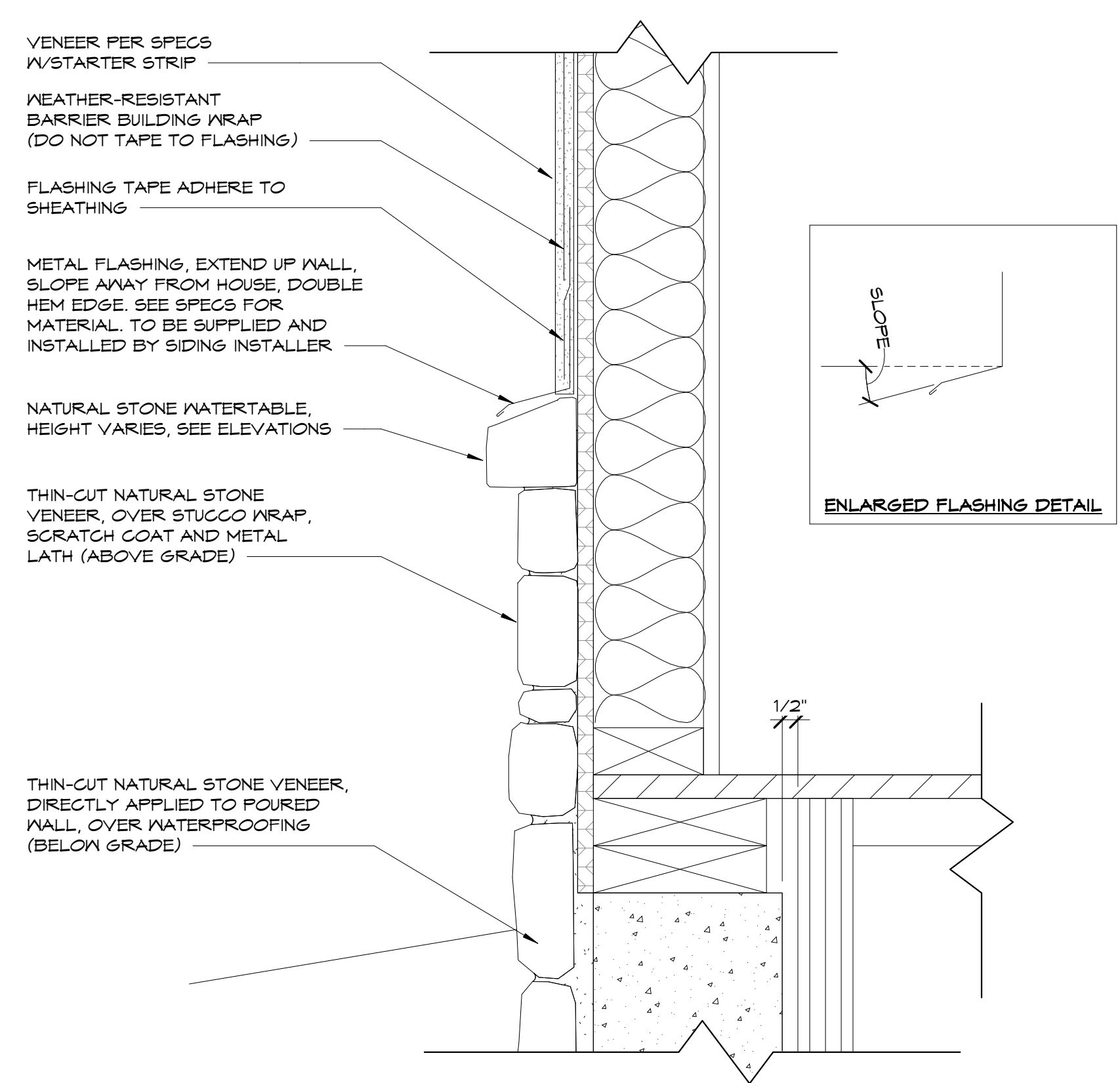
## DETAILS



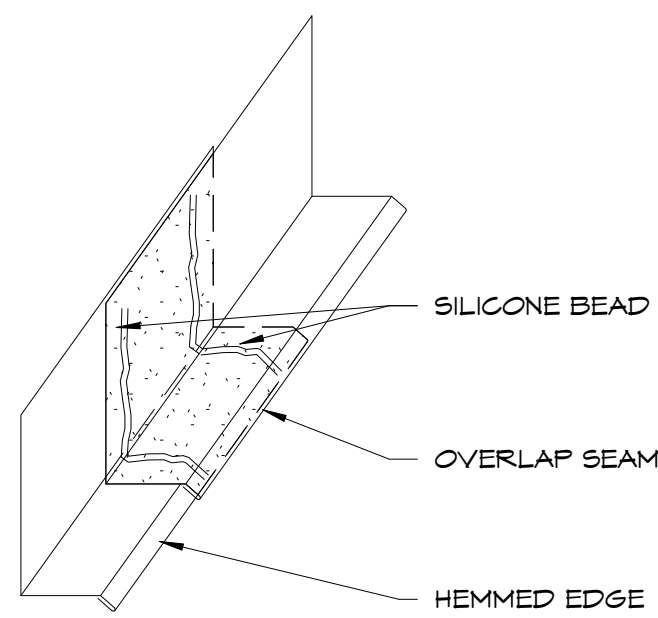
① DETAIL\_FRONT PORCH  
1 1/2" = 1'-0"



② DETAIL\_FRONT PORCH AT DOOR  
1 1/2" = 1'-0"

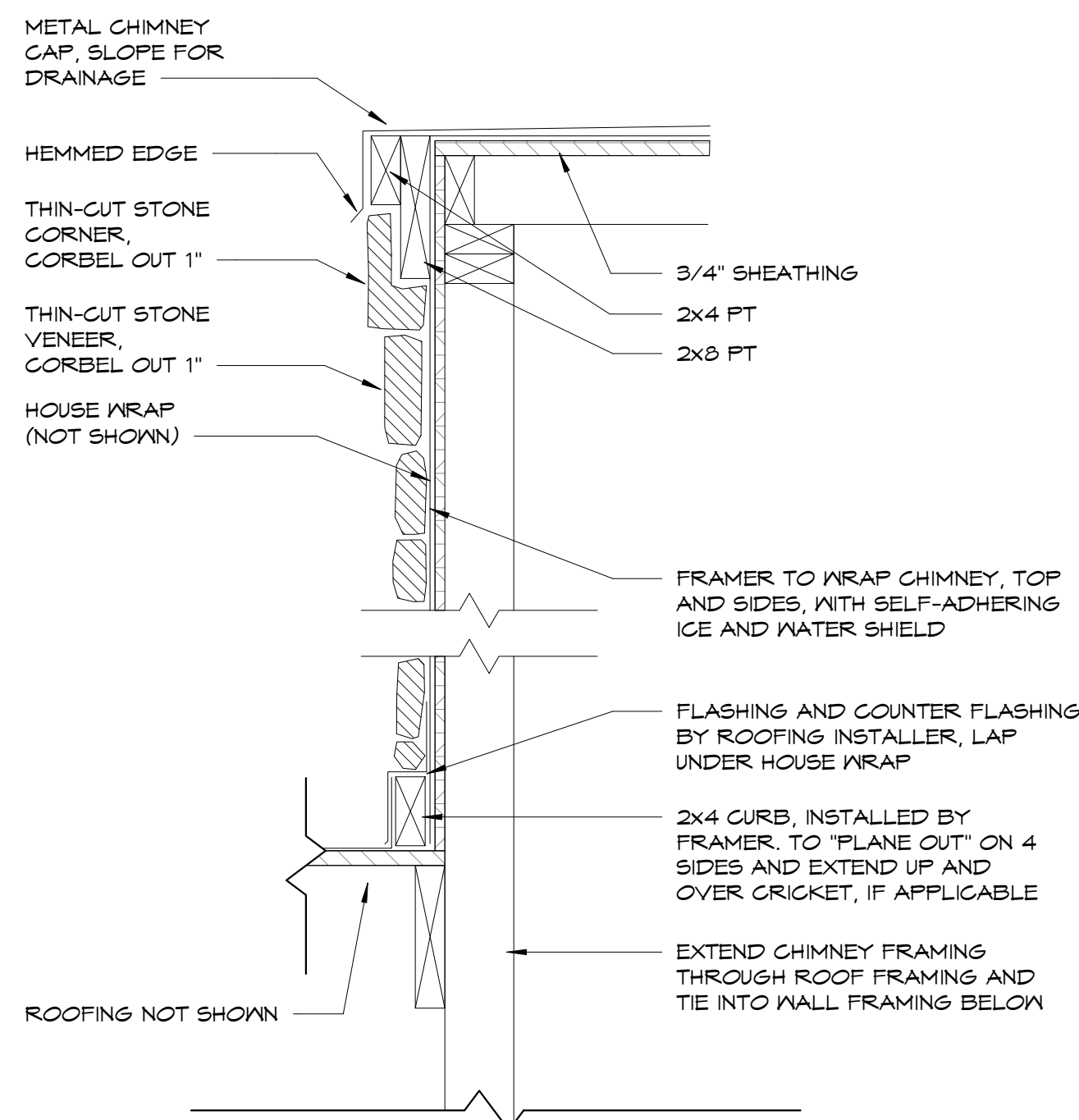


③ DETAIL FLASHING AT WATERTABLE  
3" = 1'-0"



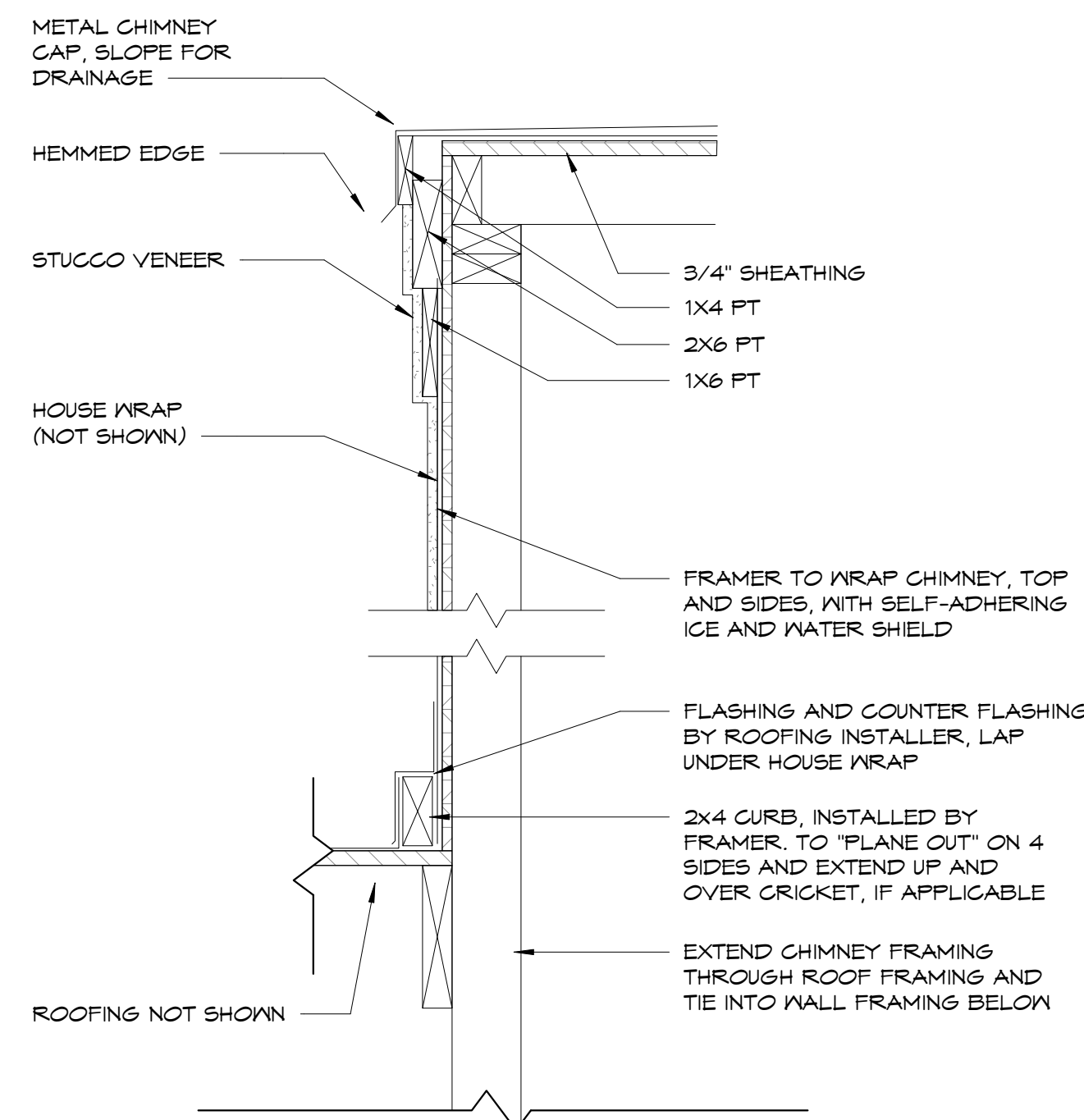
- ALL METAL FLASHING TO BE INSTALLED AS SHOWN.
- ALL FLASHING TO SLOPE AWAY FROM HOUSE

④ DETAIL FLASHING OVERLAP  
1 1/2" = 1'-0"



NOTE: INSTALL THIN-CUT STONE  
ACCORDING TO MANU. INSTRUCTIONS.

5 DETAIL CHIMNEY CAP AT STONE VENEER  
1 1/2" = 1'-0"



NOTE: INSTALL THIN-CUT STONE  
ACCORDING TO MANU. INSTRUCTIONS.

⑥ DETAIL CHIMNEY CAP AT STUCCO VENEER  
1 1/2" = 1'-0"

The Ramble  
Biltmore Village  
Asheville  
North Carolina



To subcontractors: Drawings are not for construction unless initials below are present.

BUILDER

The owner has a duty to read and understand the agreement and construction documents as provided before approving the builder to do work. These agreement and construction documents form the binding description of the work being purchased from the builder and supercede all previous discussions and versions. By affixing their signature(s) above, the owner affirms that they have read and understand the agreement and construction documents and approve the full scope of work herein. All federal, state, and local codes, ordinances, regulations, etc., shall be considered as part of specifications for this residence and take precedence over anything shown, described, or implied where same at variance.

[illegible]

## A5.02

## DETAILS

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The Ramble  
Biltmore Village  
Asheville  
North Carolina



To subcontractors: Drawings are not for construction unless initials below are present.

## BUILDER

the owner has a duty to read and understand the agreement and construction documents as provided before approving the builder to do work. These agreement and construction documents form the binding description of the work being purchased from the builder and supersede all previous discussions and versions. By affixing their signature(s) above, the owner affirms that they have read and understand the agreement and construction documents and approve the full scope of work herein. All federal, state, and local codes, ordinances, regulations, etc., shall be considered as part of specifications for this residence and take precedence over anything shown, described, or implied where same at variance.

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## MAIN LEVEL & GARAGE CEILING PLANS

NOTES:

- PROVIDE POWER WIRING FOR HVAC EQUIP.
- ALL MULTIPLE SWITCHES TO BE GANGED AND LOCATED AS CLOSE TO DOOR AS POSSIBLE
- ABOVE COUNTER OUTLETS TO BE MOUNTED HORIZONTAL
- ALL APPLIANCES TO BE ON INDIVIDUAL CIRCUIT
- SUB-CONTRACTOR TO VERIFY LOCATION OF DIMMER AND 3/4 WAY SWITCHES
- PROVIDE G.F.I. OUTLETS AS REQUIRED BY CODE
- PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE
- A/V WIRE SUB-CONTRACTOR TO VERIFY EXTENT AND LOCATIONS OF WIRING FOR COMPUTER, AUDIO/VIDEO, ETC. WITH OWNER PRIOR TO INSTALLATION


$$1/4" = 1'-0"$$
$$1/4'' = 1'-0''$$

The Ramble  
Biltmore Village  
Asheville  
North Carolina

## APPROVAL

CLIENT

BUILDER

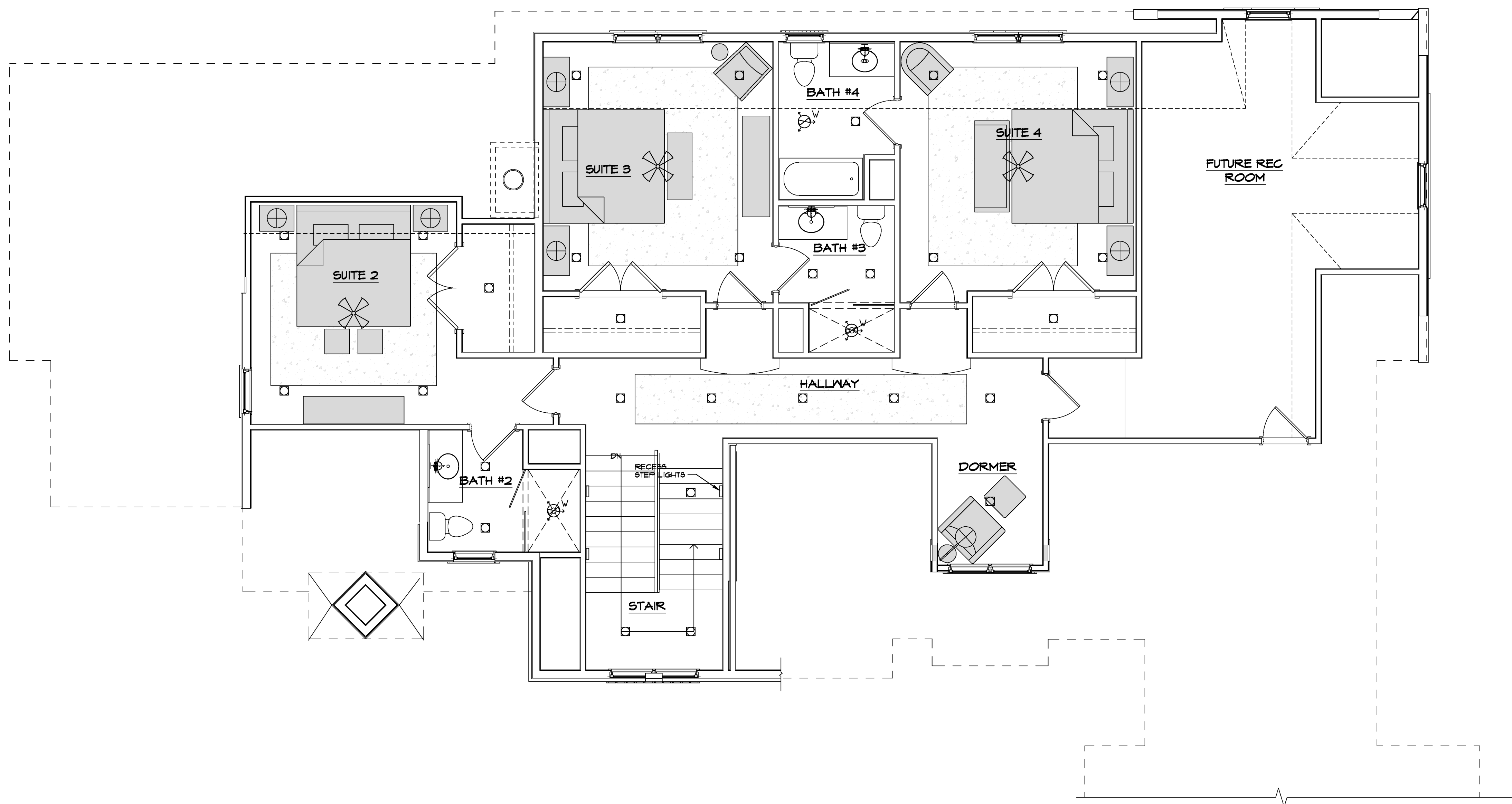
The owner has a duty to read and understand the agreement and construction documents as provided before approving the builder to do work. These agreement and construction documents form the binding description of the work being purchased from the builder and supercede all previous discussions and versions. By affixing their signature(s) above, the owner affirms that they have read and understand the agreement and construction documents and approve the full scope of work herein. All federal, state, and local codes, ordinances, regulations, etc., shall be considered as part of specifications for this residence and take precedence over anything shown, described, or implied where same at variance.

2 0 2 1 - 2 7

UPPER LEVEL CEILING  
PLAN

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- PROVIDE POWER WIRING FOR HVAC EQUIP.
- ALL MULTIPLE SWITCHES TO BE GANGED AND LOCATED AS CLOSE TO DOOR AS POSSIBLE
- ABOVE COUNTER OUTLETS TO BE MOUNTED HORIZONTAL
- ALL APPLIANCES TO BE ON INDIVIDUAL CIRCUIT
- ALL CONTRACTORS TO VERIFY LOCATION OF DIMMER AND 3/4 WAY SWITCHES
- PROVIDE G.F.I. OUTLETS AS REQUIRED BY CODE
- PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE
- A/V WIRE SUB-CONTRACTOR TO VERIFY EXTENT AND LOCATIONS OF WIRING FOR COMPUTER, AUDIO/VIDEO, ETC. WITH OWNER PRIOR TO INSTALLATION


$$1/4'' = 1'-0''$$